

ZONING DATA

OBTAINED FROM THE BOROUGH OF LANSDALE ZONING ORDINANCE, AS LAST AMENDED.

DISTRICT CLASSIFICATION: CLASS C RESIDENTIAL DISTRICT
 PROPOSED USE: STANDARD DIMENSIONAL CRITERIA

REQUIREMENT	ALLOWED/REQUIRED	PROPOSED
MINIMUM LOT AREA:	1,800 S.F.	2,064 S.F.
MINIMUM LOT WIDTH @ BUILDING LINE:	15/21 FT.	16/19 FT. (1)
FRONT YARD RESTRICTION:	24 FT.	21.7 FT. (2)
SIDE YARD RESTRICTION:	6 FT.	3 FT. (1)
REAR YARD RESTRICTION:	20 FT.	20 FT.
MAXIMUM BUILDING COVERAGE:	40%	35%
MAXIMUM IMPERVIOUS COVERAGE:	75%	37%
MAXIMUM BUILDING HEIGHT:	35 FT.	35 FT.

(1) VARIANCE REQUIRED
 (2) CONSISTENT WITH OTHER TOWNHOMES ON BLOCK

TAX PARCEL INFORMATION

SUBJECT TRACT MAY BE IDENTIFIED BY MONTGOMERY COUNTY TAX INFORMATION AS FOLLOWS:
 BOROUGH OF LANSDALE

RECORDED DEED DATA IS AS FOLLOWS:
 AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY AT NORRISTOWN PENNSYLVANIA

PARCEL NO.	DEED BOOK/PAGE	RECORD OWNER	TRACT AREA
11-00-15348-00-4	5780/02211	SEWARD DUFFY 134 W SIXTH ST LANSDALE, PA 19446	7,676 S.F.

- GENERAL NOTES**
1. TOPOGRAPHICAL, BOUNDARY AND RIGHT-OF-WAY INFORMATION IS BASED ON DEEDS AND PLANS OF RECORD. ALL INFORMATION ON THIS PLAN SHALL BE CONSIDERED TO BE APPROXIMATE.
 2. THE PROPOSED USE SHALL BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER FACILITIES.
 3. CONCRETE MONUMENTS SHALL BE INSTALLED AS INDICATED.
 4. ALL SANITARY SEWER LATERALS SHALL BE LAID ON A SLOPE OF NOT LESS THAN 2% AN 18 INCH VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN THE WATER AND SANITARY SEWER LINES, WHEN A 10 FOOT HORIZONTAL CLEARANCE IS NOT MAINTAINED.
 5. THE CONDITION OF THE EXISTING CURB AND SIDEWALK ALONG THE STREET FRONTAGE SHALL BE ASSESSED BY THE DIRECTOR OF UTILITIES TO DETERMINE THE NEED FOR REPLACEMENT. ANY EXISTING CURB OR SIDEWALK REQUIRING REPLACEMENT DUE TO EXISTING DETERIORATION OR FOR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE DETAIL ON SHEET X.
 6. ALL CONSTRUCTION SHALL CONFORM TO THE BOROUGH OF LANSDALE STANDARDS AND SPECIFICATIONS AS APPLICABLE.
 7. CONSTRUCTION MATERIAL AND METHODS ARE TO CONFORM TO PENNDOT PUBLICATION 408.
 8. A DETAILED BUILDING PERMIT AND GRADING PLANS SHALL BE SUBMITTED TO THE BOROUGH TOGETHER WITH THE BUILDING PERMIT APPLICATION FOR REVIEW AND APPROVAL BY THE BOROUGH PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 9. ZONING RELIEF REQUIRED:
 - (1) 20 SECTION 405-604(B)(2) - MINIMUM LOT WIDTH- TO ALLOW A 19 FT LOT WIDTH FOR END UNITS WHERE 21 FT IS REQUIRED.
 - (2) 20 SECTION 405-604(D)(3) - SIDE YARD - TO ALLOW A 5.5 FT SIDE YARD ON THE EASTERN PROPERTY LINE AND A 3 FT SETBACK ON THE WESTERN PROPERTY LINE.
 - (3) 20 SECTION 405-1703(A)(4) - PARKING REQUIREMENTS - TO ALLOW PARKING AREAS THAT ARE NOT ACCESSED BY AN ALLEY.
 - (4) 20 SECTION 405-3702(F)(1) - DESIGN STANDARDS - TO ALLOW A FRONT ENTRY GARAGE, RATHER AND ALLEY ACCESS GARAGE.
 - (5) 20 SECTION 405-3702(F)(3) - DESIGN STANDARDS - RELIEF FROM THE REQUIREMENT THAT A GARAGE BE SET BACK TO FEET FROM THE FRONT FACADE OF THE DWELLING UNIT.

APPLICANT INFORMATION

HarpConn, LLC
 775 PENNLIN BLUE BELL PK
 BLUE BELL PA, 19422
 (215) 643-9700

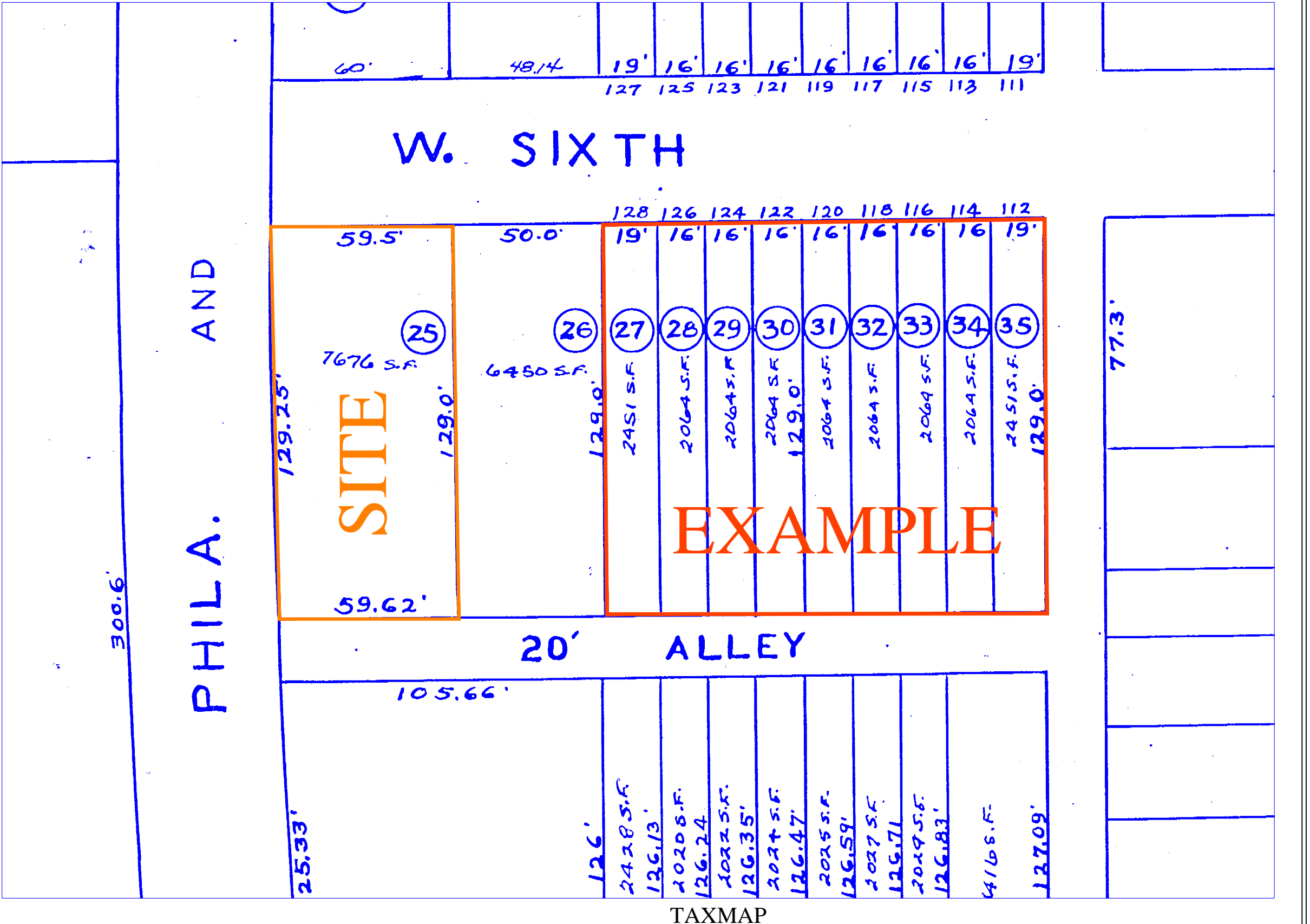
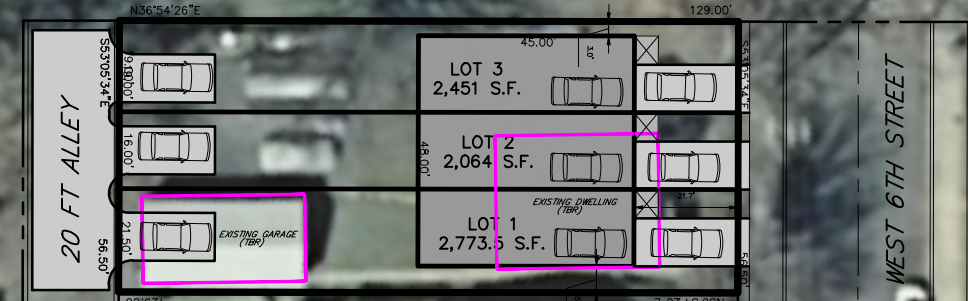
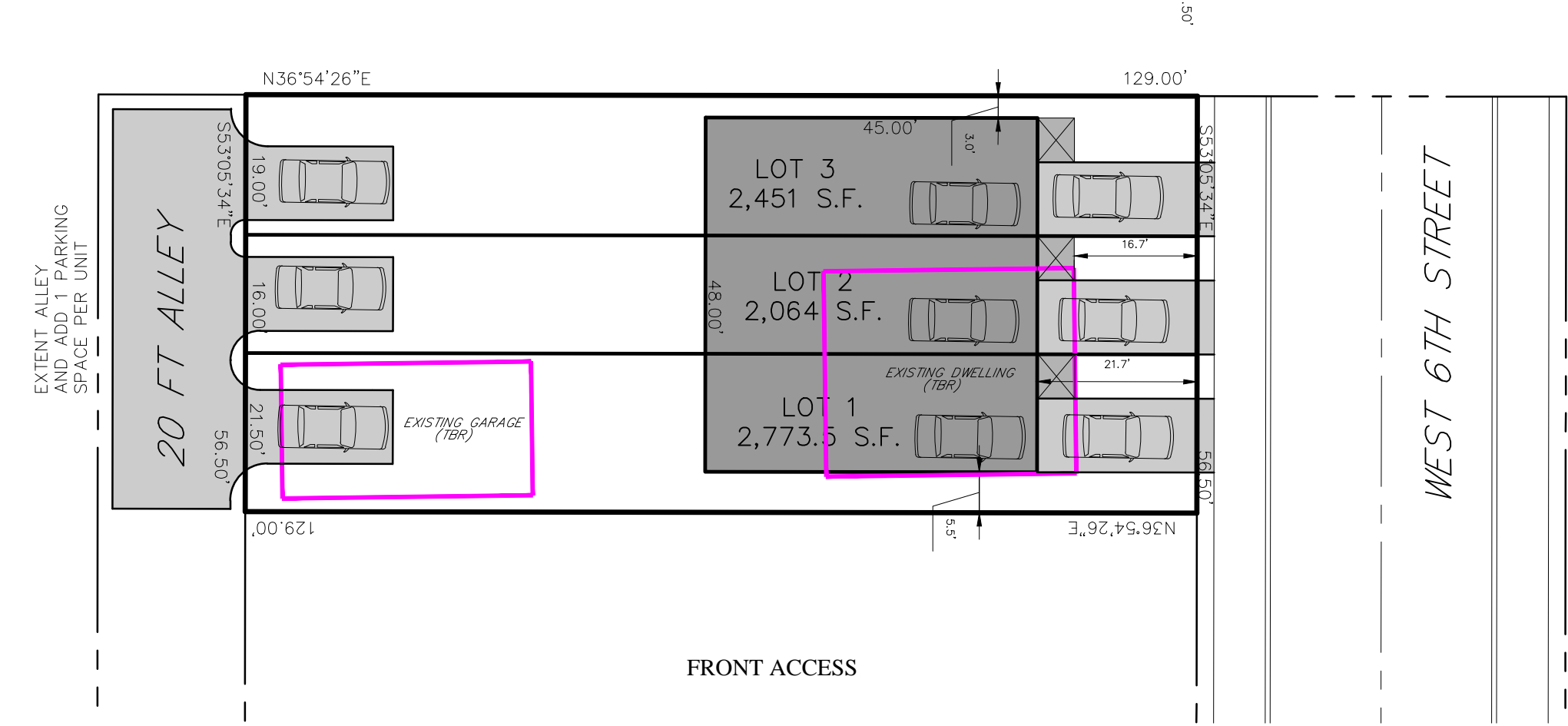


PHOTO PLAN (1"=40')

PROPOSED TOWNHOMES ARE PATTERNED AFTER 112 TO 128 W 6TH STREET TOWNHOMES (16 FEET WIDE INTERIOR UNITS AND 19 FEET WIDE END UNITS)



SKETCH PLAN

Prepared for
HARPCONN, LLC
 As part of
134 W SIXTH STREET

BOROUGH OF LANSDALE
 MONTGOMERY COUNTY
 PENNSYLVANIA

JASON T. SMELAND
 PROFESSIONAL ENGINEER
 PA NO. 059306

LENAPE VALLEY ENGINEERING
 Civil Engineering • Subdivision • Land Development

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Plan Origination Date: 09-23-2025

PROJECT MANAGER: J.T.S. DRAWING SCALE: 1"=20' SHEET NUMBER: 1 OF 1

DRAFTED BY: J.T.S. PROJECT NUMBER: 2680