

DECKS

UNCOVERED/UNENCLOSED DECK SUBMISSION

REQUIREMENTS:

1. **Deck/Patio/Driveway Permit Application**
2. **(2) copies : Deck plot/site plan, deck plan, cross section plan, stair and railing details** *(Drawn to Scale, Sample plans available upon request)*

COVERED/ENCLOSED DECK SUBMISSION

REQUIREMENTS:

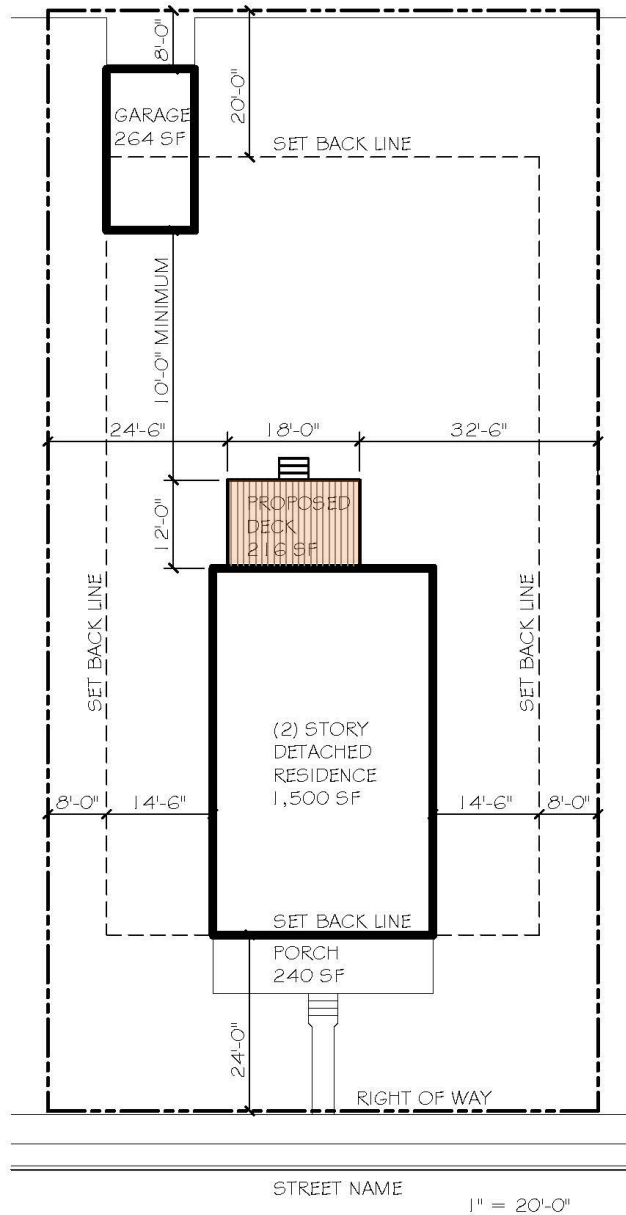
1. **Building Permit Application**
2. **(2) copies : Plot/site plan, deck plan, roof framing plan, cross section plan, stair and railing details** *(Drawn to Scale, sample plans available upon request)*

LANSDALE ZONING CODE 405-1904

- ⇒ Unenclosed decks and patios. Although they are not considered accessory structures, for unenclosed decks and patios, where the residence is an attached or semidetached residence, the deck or patio may extend to the common property line
- ⇒ Accessory structures that are **200 square feet or less** shall be located on a lot in such a manner as to have a side yard of not less than 4 feet and a rear yard of not less than 4 feet.
- ⇒ Accessory buildings that are **200 square feet to 580 square feet** shall have rear yard of not less than 8 feet and shall have a side yard as to comply with side yard requirements for the district in which they are located.
- ⇒ Accessory structures over 580 square feet are permitted by special exception only and additional conditions apply.
- ⇒ Unless connected to the principal building or other structure any accessory structure must be located a minimum of 10 feet from any other building or structure.
- ⇒ Accessory structures have a maximum height of 17 feet.
- ⇒ Accessory structures shall count towards maximum building and impervious coverage, as applicable.

- ◆ *This guide is for informational purposes only. Applicants are advised to review all applicable ordinances.*
- ◆ *It is the owner(s) responsibility to verify the location of property lines.*
- ◆ *Grading—It is a violation of Borough Ordinance to cause water to drain or discharge on any public street, alley or private property.*
- ◆ *Proper clearances must be maintained where overhead electric wires are present.*
- ◆ *An electric permit, inspection and certificate of approval are required where electric service is being provided to any accessory structure .§ 105-75.*
- ◆ *Those additions or renovations that can be seen from the street would require a design review application.*
- ◆ *Decks over 30" above grade must conform to 2015IRC.*

*** Sample plans are available upon request.**

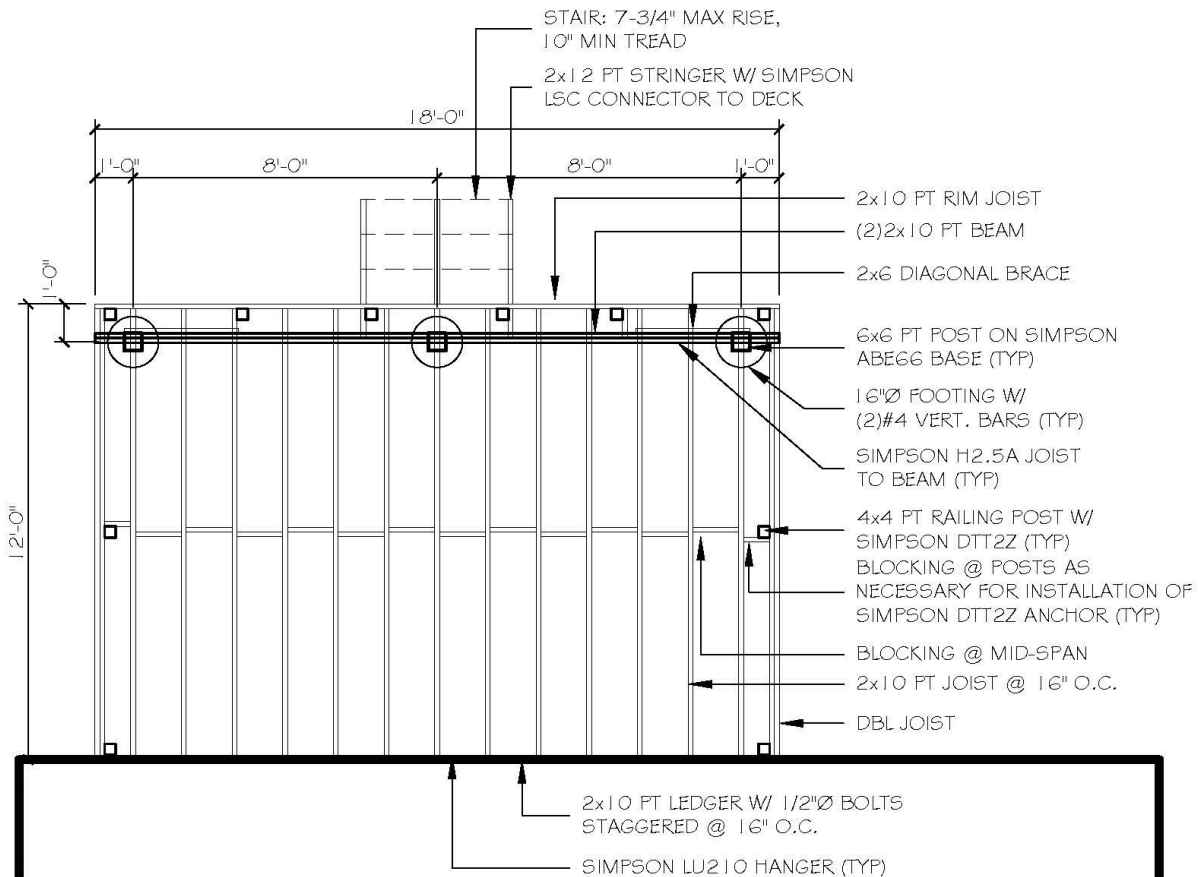


Property Address: 700 Anywhere St **Property Owner:** Jack & Jane Smith
Contractor: Home Builders, Inc 123 Anywhere St Anywhere PA 012345
Phone #: 123-456-7890 Page 1 of 4

SAMPLE DECK PLOT PLAN

This shall be drawn to scale, showing the actual dimensions of the lot to be built upon, the exact size and location on the lot of the accessory structure to be erected and such other information that may be necessary to determine and provide for the enforcement of this chapter.





NOTES:

1. ALL FRAMING MUST BE PRESSURE TREATED, SPF #2 OR BETTER.
2. ALL METAL FASTENERS IN CONTACT W/ PRESSURE TREATED LUMBER, MASONRY, OR CONCRETE MUST BE MINIMUM HOT DIP GALVANIZED.
3. WOOD FRAMING MUST NOT BE IN DIRECT CONTACT W/ MASONRY OR CONCRETE.
4. CONCRETE FOOTINGS MUST BE 2,500 PSI MIN.

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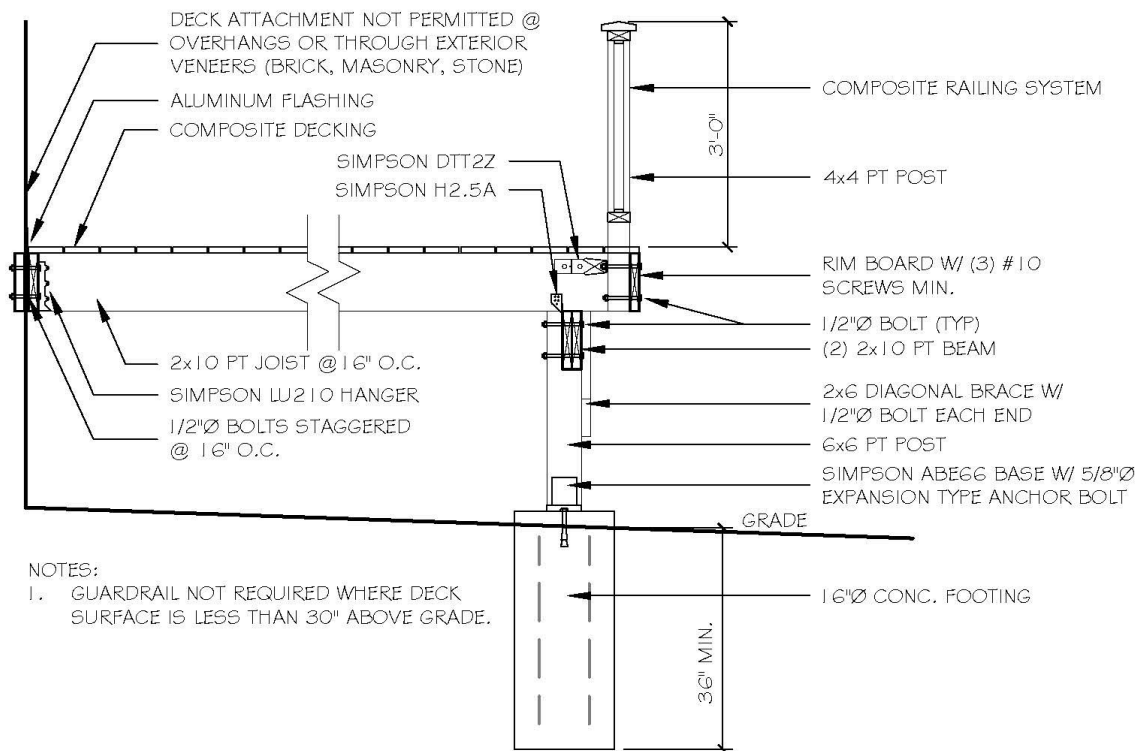
Page 2 of 4

SAMPLE DECK PLAN

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LANSDALE
LIFE IN MOTION



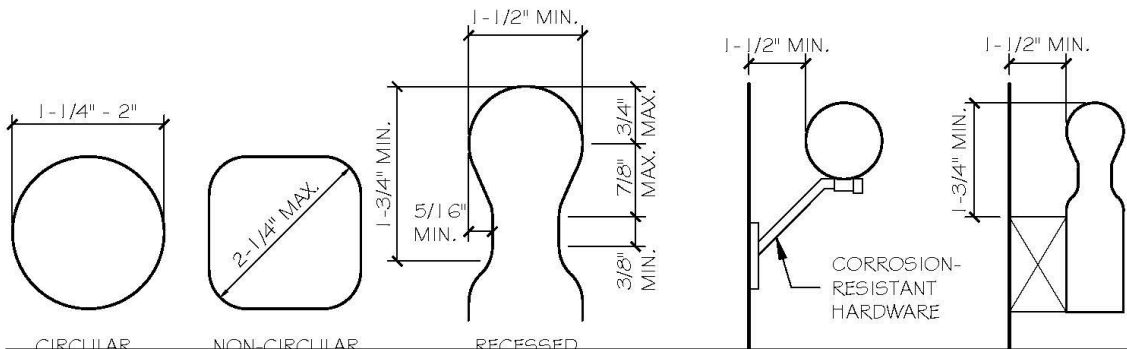
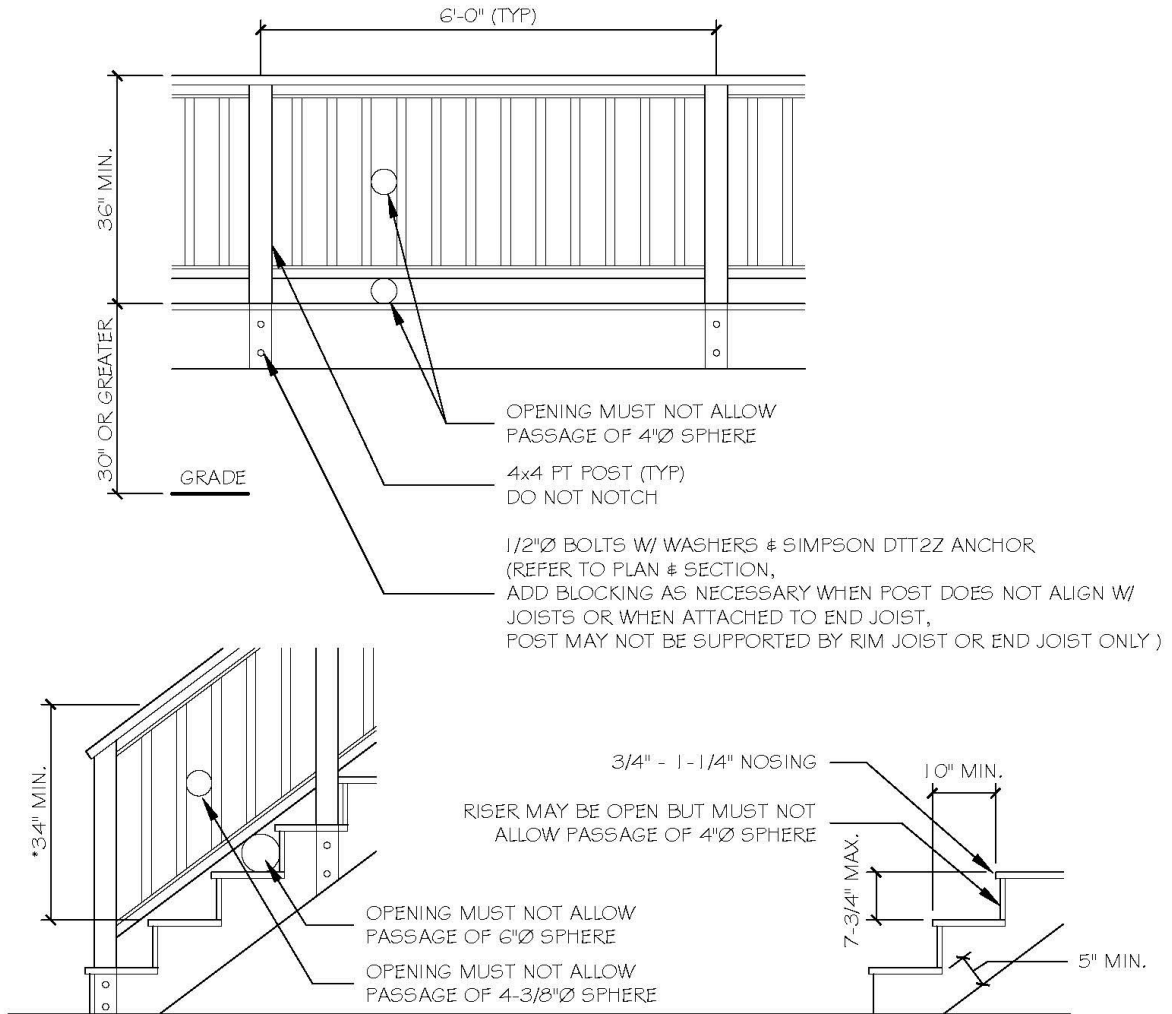
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Page 3 of 4

SAMPLE CROSS SECTION PLAN

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SAMPLE GUARD & HANDRAIL PLAN

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